

Exhibit C

**IN THE UNITED STATES BANKRUPTCY COURT
FOR THE WESTERN DISTRICT OF TEXAS
AUSTIN DIVISION**

IN RE: §
3443 ZEN GARDEN, L.P. § CASE NO. 20-10410-hcm
ALLEGED DEBTOR §
§

**DECLARATION OF JASON WESLEY FERGUSON IN SUPPORT OF
OBJECTION TO POST-PETITION FINANCING**

I, Jason W. Ferguson, being duly sworn, state the following under penalty of perjury:

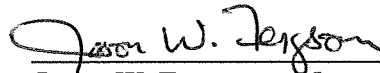
1. I am one of the owners of Koetter Fire Protection of Austin, LLC ("Koetter") located in Pflugerville, Texas. I submit this declaration ("Declaration") in support of the Objection to Post-Petition Financing. I have been personally involved in all facets of Koetter's involvement in the improvements located at 3443 Ed Bluestein Boulevard in Austin, Texas (the "Project") and I have personal knowledge of the facts contained herein.
2. I have been a part of Koetter since 1998. My duties began when I opened the Austin office overseeing all operations and financial decisions in the company. In 2001, I became a managing member of the business. I started working as a contractor for Koetter installing alarms and sprinkler systems in 1998 and have been in the business continuously since that time. Prior to that, I was a master electrician working as a fire alarm system administrator at Motorola.

The Lien

3. Koetter entered into a contract with Panache Development & Construction, Inc. ("Panache") and Debtor on the Project owned by Panache and/or Debtor. The scope of work undertaken by Koetter can be generally described as the design, planning, and installation of fire alarms and fire sprinkler systems throughout the Project.

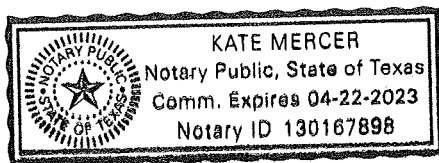
4. On or about October 15, 2019, and December 11, 2019, I caused to be served a Notice of Unpaid Balance on Panache and Debtor for nonpayment of invoices for the months of August 2018 through November of 2019, including retainage claims. A true and correct copy of said notices are attached hereto as Exhibit "A".
5. On or about December 12, 2019, and January 15, 2020, I caused to be recorded an Affidavit of Claim for Mechanic's Lien on behalf of Koetter as Official Public Document Nos. 2019195395, 2019195396, 2019195397, 2020006840, 2020006841, 2020006842, 2020006843, 2020006844, 2020006845, 2020006846, 2020006847, 2020006848, and 2020006849. A true and correct copy of said liens are attached hereto as Exhibit "B". Unpaid work and materials were installed as per the terms of the contract with Panache, payment is past due, and the lien amount remains unsatisfied.

DATED: June 10, 2020.



Jason W. Ferguson, Managing Member
Koetter Fire Protection of Austin, LLC

SUBSCRIBED AND SWORN TO BEFORE ME, on this 10th day of June, 2020.





Notary Public in and For the State of Texas

DATE: October 15, 2019

Eightfold Developments, LLC.
c/o Panache Development & Construction
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6754

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Eightfold Developments, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Austin, Texas 78721
Known as: Eightfold – Central Plant (193278)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Eightfold Developments, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is seventy thousand, nine hundred fifty and 90/100 Dollars (\$ 70,950.90).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

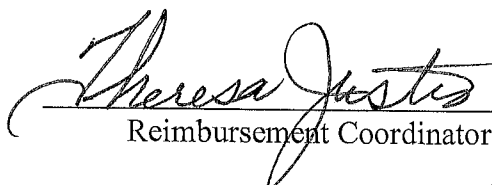
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 100% design labor, 100% materials furnished and 50% labor less 10% retainage in progress of the fire sprinkler system remodel.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6730

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6747

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #

06/12/19 270979

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
Central Plant	Due on Receipt	193278

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Central Plant 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Remodel		
1	Materials	61674.00	61674.00
1	Labor	11152.17	11152.17
1	Retainage - Material (10%)	-6167.40	-6167.40
1	Retainage - Labor (10%)	-1115.22	-1115.22
	Invoice subtotal		65543.55
	Sales tax		5407.35
WE APPRECIATE YOUR BUSINESS!		TOTAL	70950.90

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

DATE: October 15, 2019

Eightfold Developments, LLC.
c/o Panache Development & Construction
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6754

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Eightfold Developments, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Austin, Texas 78721
Known as: Eightfold – Central Plant (193278)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Eightfold Developments, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is four thousand, three hundred forty-six and 00/100 Dollars (\$ 4,346.00).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

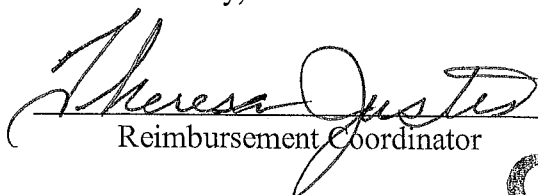
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 20% labor less 10% retainage in progress of the fire sprinkler system remodel.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 0730

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 0747

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #

07/18/19 271512

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
Central Plant	Due on Receipt	193278

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Central Plant 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Remodel		
1	Labor	4460.87	4460.87
1	Retainage - Labor (10%)	-446.09	-446.09
	Invoice subtotal		4014.78
	Sales tax		331.22
WE APPRECIATE YOUR BUSINESS!		TOTAL	4346.00

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

Page 8
COPY

DATE: October 15, 2019

Eightfold Developments, LLC.
c/o Panache Development & Construction
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6754

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Eightfold Developments, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721
Known as: Eightfold - Bldgs. H&J Core & Shell (193244)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Eightfold Developments, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is thirty-nine thousand, five hundred forty-seven and 67/100 Dollars (\$ 39,547.67).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

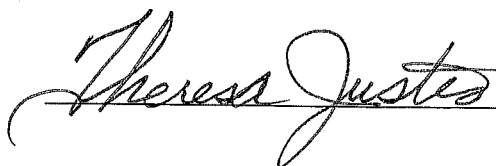
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 90% labor Building H Floor 2, 90% labor Building H Floor 3 and 90% labor Building H Floor 4 less 10% retainage in progress of the fire sprinkler system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,



Enclosures

COPY

Reimbursement Coordinator

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL

RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6730

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL

RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6747

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 07/17/19 271495

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
H&J Core & Shell	Due on Receipt	193244

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Buildings H&J 2-4 Floors (Core & Shell) 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Sprinkler System		
1	Building H Floor 2 - Labor	14647.29	14647.29
1	Building H Floor 3 - Labor	14647.29	14647.29
1	Building H Floor 4 - Labor	14647.28	14647.28
1	Retainage - Labor (10%)	-4394.19	-4394.19
	Invoice subtotal		39547.67
		Sales tax	0.00
WE APPRECIATE YOUR BUSINESS!		TOTAL	39547.67

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

7019 0700 0001 3864 9500

U.S. Postal Service
CERTIFIED MAIL RETURNED
0664 08
JAN 17 2020
Postmark Here
78731-3901

For delivery information, visit our website at www.usps.com

OFFICIAL

RAUSTIN TX 78721

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee if applicable)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$1.50
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$2.20
Total Postage and Fees	\$7.30

Sent To
3443 Zen Garden, LP
Street and Apt. No., or PO Box No.
3443 Ed Bluestein Blvd.
City, State, ZIP+4
Austin, TX 78731-3901

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

DATE: October 15, 2019

Eightfold Developments, LLC.
c/o Panache Development & Construction
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL

RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6754

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Eightfold Developments, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building H Austin, Texas 78721
Known as: Eightfold – Building H 1st Floor (193245)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Eightfold Developments, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is eleven thousand, five hundred ninety-eight and 50/100 Dollars (\$11,598.50).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

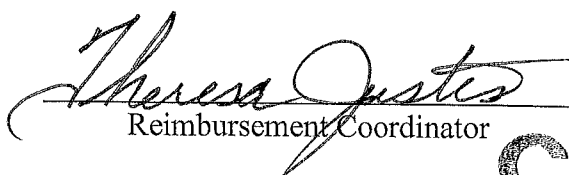
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 80% labor Building H 1st Floor less 10% retainage in progress of the fire sprinkler system modification.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

Page 13
COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6730

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6747

Invoice

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE 07/18/19 INVOICE # 271504

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
Bldg. H 1st Floor	Due on Receipt	193245

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Bldg H 1st Floor / Bldg J 1st Floor 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Modification		
1	Building H 1st Floor Labor	11905.06	11905.06
1	Retainage - Labor (10%)	-1190.51	-1190.51
	Invoice subtotal		10714.55
	Sales tax		883.95
WE APPRECIATE YOUR BUSINESS!		TOTAL	11598.50

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6914

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721
Known as: Austin Viie -- Work Well Win F1 (183178)

Gentlemen:

Koetter Fire Protection of Austin, LLC., has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership. is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC. is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is seven thousand, one hundred eighty-six and 18/100 Dollars (\$ 7,186.18).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

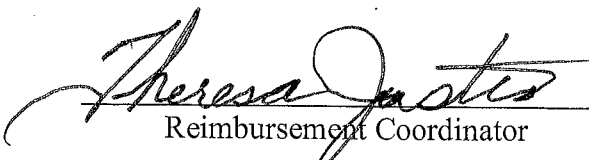
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 10% retainage in completion of the fire sprinkler 1st floor system modification.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6921

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6938

COPY

Invoice

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 07/16/19 271478

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW F1	Due on Receipt	183178

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold - Work Well Win F1 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani Fire Sprinkler 1st Floor Modification		
1	Retainage - Labor (10%) Invoices 267087, 268701 and 270166	1869.92	1869.92
1	Retainage - Material (10%) Invoices 267457, 268366 and 268701	4768.59	4768.59
	Invoice subtotal		6638.51
	Sales tax		547.67
WE APPRECIATE YOUR BUSINESS!		TOTAL	7186.18

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

7019 0700 0001 3864 9461

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
For delivery information, visit our website at www.usps.com®

AUSTIN, TX 78721

OFFICIAL PFLUGERVILLE SE

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee \$0.00 per date)

<input type="checkbox"/> Return Receipt (hardcopy)	\$1.40
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$2.20

Total Postage and Fees \$7.30

Sent To
Austin, TX
3443 Ed Bluestein Blvd.
Austin, TX 78721

Postmark Here
17 2020
78660 01/17/2020

PS Form 3800, April 2015 PSN 7530-02-000-0047 See Reverse for Instructions

DATE: December 11, 2019

Austin Viie, LLC.
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6945

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721
Known as: Austin Viie – Work Well Win F2 (183179)

Gentlemen:

Koetter Fire Protection of Austin, LLC., has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC. is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is seven thousand, one hundred four and 54/100 Dollars (\$ 7,104.54).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

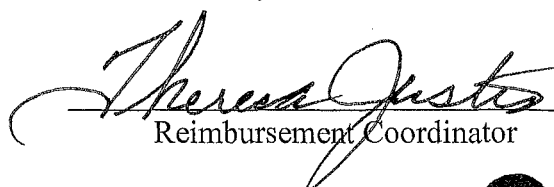
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 10% retainage in completion of the fire sprinkler 2nd floor installation.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6952

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6969

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 07/17/19 271484

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW F2	Due on Receipt	183179

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold - Work Well Win F2 3443 Ed Bluestien Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Sprinkler 2nd Floor Installation		
1	Retainage - Labor (10%) Invoices 267088, 268708, 269171 and 270563	2968.20	2968.20
1	Retainage - Material (10%) Invoices 267459 and 268708	3821.10	3821.10
	Invoice subtotal		6789.30
	Sales tax		315.24
WE APPRECIATE YOUR BUSINESS!		TOTAL	7104.54

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6976

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Austin, Texas 78721
Known as: Eightfold – Central Plant (193278)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is three thousand, two hundred fifty-nine and 50/100 Dollars (\$ 3,259.50).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

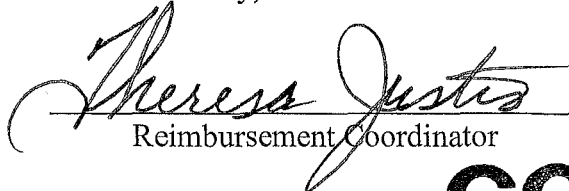
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 15% labor less 10% retainage in progress of the fire sprinkler system remodel.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6983

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6990

KOETTER FIRE PROTECTION
 OFALIN, L.L.C.

Page 25
 Invoice

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 08/19/19 272022

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
Central Plant	Due on Receipt	193278

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Central Plant 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Remodel		
1	Labor	3345.65	3345.65
1	Retainage - Labor (10%)	-334.56	-334.56
	Invoice subtotal		3011.09
	Sales tax		248.41
WE APPRECIATE YOUR BUSINESS!		TOTAL	3259.50

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6976

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Austin, Texas 78721
Known as: Eightfold – Central Plant (193278)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is three thousand, two hundred fifty-nine and 49/100 Dollars (\$ 3,259.49).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

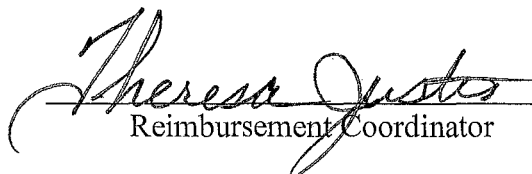
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 15% labor less 10% retainage in progress of the fire sprinkler system remodel.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6983

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6990

COPY

KOETTER FIRE PROTECTION

Declaratory of Partnership 28 of 107

OF AUSTIN, L.L.C.

Page 28
Invoice**ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION**16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
(512) 251-7888 FAX (512) 251-7848

DATE 11/05/19 INVOICE # 273041

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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
LUBBOCK ★ CORPUS CHRISTI

BILL TO:

Panache Development & Construction, Inc.
P.O. Box 26539
Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
16069 CENTRAL COMMERCE DRIVE
PFLUGERVILLE, TEXAS 78660-2005*Thank You! We Appreciate Your Business*

P.O. NUMBER	TERMS	OUR ORDER NO.
Central Plant	Due on Receipt	193278

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Central Plant 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Remodel		
1	Labor	3345.64	3345.64
1	Retainage - Labor (10%)	-334.56	-334.56
		Invoice subtotal	3011.08
		Sales tax	248.41
WE APPRECIATE YOUR BUSINESS!		TOTAL	3259.49

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7003

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721
Known as: Eightfold – Bldgs. H&J Core & Shell (193244)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is four thousand, three hundred ninety-four and 20/100 Dollars (\$ 4,394.20).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 10% labor Building H Floor 2, 10% labor Building H Floor 3 and 10% labor Building H Floor 4 less 10% retainage in progress of the fire sprinkler system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7010

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7027

COPY

KOETTER FIRE PROTECTION
 OF AUSTIN, L.L.C.

Page 31
 Invoice

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 09/20/19 272460

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW Phase 2	Due on Receipt	193244

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Building H 2-4 Core & Shell 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Sprinkler System		
1	Building H Floor 2 Labor	1627.48	1627.48
1	Buildin H Floor 3 Labor	1627.48	1627.48
1	Labor	1627.48	1627.48
1	Retainage - Labor (10%)	-488.24	-488.24
	Invoice subtotal		4394.20
	Sales tax		0.00
WE APPRECIATE YOUR BUSINESS!		TOTAL	4394.20

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7003

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721
Known as: Eightfold – Bldgs. H&J Core & Shell (193244)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is one hundred four thousand, three hundred thirty-two and 40/100 Dollars (\$ 104,332.40).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

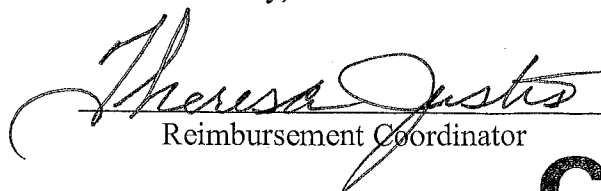
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 100% materials Building J Floor 2, 100% labor Building J Floor 2, 100% materials Building J Floor 3, and 75% labor Building J Floor 3 less 10% retainage in progress of the fire sprinkler system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE 11/05/19 INVOICE # 273034

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
J 2&3 Core & Shell	Due on Receipt	193244

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Buildings J 2-3 Floors (Core & Shell) 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Sprinkler System		
1	Building J Floor 2 Materials	38278.03	38278.03
1	Building J Floor 2 Labor	18887.40	18887.40
1	Building J Floor 3 Materials	38278.03	38278.03
1	Building J Floor 3 Labor	14165.55	14165.55
1	Retainage - Material (10%)	-7655.61	-7655.61
1	Retainage - Labor (10%)	-3305.29	-3305.29
	Invoice subtotal		98648.11
	Sales tax		5684.29
WE APPRECIATE YOUR BUSINESS!		TOTAL	104332.40

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 6884

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building F Austin, Texas 78721
Known as: Austin Viie – Work Well Win F1 TI (183172)

Gentlemen:

Koetter Fire Protection of Austin, LLC., has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership. is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC. is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is four thousand, two hundred nine and 19/100 Dollars (\$ 4,209.19).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

Enclosed you will find a copy of the invoice(s).

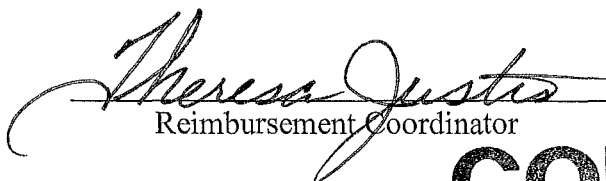
The materials and labor consist of 40% labor Building F 1st Floor less 10% retainage in progress of the fire alarm system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,

Enclosures


Reimbursement Coordinator

COPY Page 4

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6891

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6907

COPY

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

DATE 10/24/19 INVOICE # 272878

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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN
 DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

BILL TO Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:
 KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW F1 TI	Due on Receipt	183172

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Building F 1st Floor 3443 Ed Bluestein Blvd. Austin, Texas 78721-2912 WWW F1 TI Troy Fellows Fire Alarm System		
1	Building F 1st Floor - Labor	4320.44	4320.44
1	Retainage - Labor (10%)	-432.04	-432.04
		Invoice subtotal	3888.40
		Sales tax	320.79
	WE APPRECIATE YOUR BUSINESS!	TOTAL	4209.19

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 6884

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building F Austin, Texas 78721
Known as: Austin Viie – Work Well Win F1 TI (183172)

Gentlemen:

Koetter Fire Protection of Austin, LLC., has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership. is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC. is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is one thousand, fifty-two and 30/100 Dollars (\$ 1,052.30).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

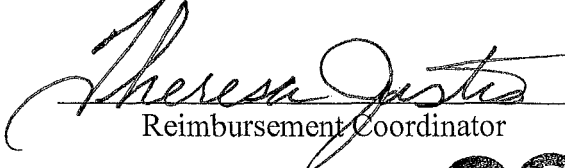
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 10% labor Building F 1st Floor less 10% retainage in progress of the fire alarm system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 0891

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 0901

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE INVOICE #
 11/05/19 273043

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW F1 TI	Due on Receipt	183172

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Eightfold Building F 1st Floor 3443 Ed Bluestein Blvd. Austin, Texas 78721-2912 WWW F1 TI Troy Fellows Fire Alarm System		
1	Building F 1st Floor Labor	1080.11	1080.11
1	Retainage - Labor (10%)	-108.01	-108.01
	Invoice subtotal		972.10
	Sales tax		80.20
WE APPRECIATE YOUR BUSINESS!		TOTAL	1052.30

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
For delivery information, visit our website at www.usps.com

AUSTIN TX 78755

Certified Mail Fee \$3.50

Extra Services & Fees (check box, add fee)

<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input checked="" type="checkbox"/> Return Receipt (electronic)	\$1.60
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$2.20

Total Postage and Fees \$7.30

Sent To *Parache Dev. & Const. Inc.*
Street and Apt. No., or P.O. Box No. *PO Box 26539*
City, State, ZIP+4® *Austin TX 78755*

Postmark Here
PFLUGERVILLE TEXAS
17 2020
01/17/2020

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

2019 0700 0001 3864 9492

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7041

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721
Known as: Austin Viie – Bldgs. H & J 1st Floor (193245)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is fifty-seven thousand, seven hundred forty-three and 64/100 Dollars (\$ 57,743.64).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 20% labor Building H 1st Floor, 80% materials Building J 1st Floor and 80% labor Building J 1st Floor less 10% retainage in progress of the fire sprinkler system modification.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

Page 41
COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7058

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7065

COPY

KOETTER FIRE PROTECTION

Declaratory Judgment No. 43 of 107

OF AUSTIN, L.L.C.

Page 43
Invoice**ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION**16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
(512) 251-7888 FAX (512) 251-7848ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
FIRE ALARM SYSTEMS • FIRE EXTINGUISHERS
FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
LUBBOCK ★ CORPUS CHRISTI

DATE 09/20/19 INVOICE # 272466

BILL TO:

Panache Development & Construction, Inc.
P.O. Box 26539
Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
16069 CENTRAL COMMERCE DRIVE
PFLUGERVILLE, TEXAS 78660-2005*Thank You! We Appreciate Your Business*

P.O. NUMBER	TERMS	OUR ORDER NO.
Core & Shell	Due on Receipt	193245

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Bldg H 1st Floor / Bldg J 1st Floor 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Modification		
1	Building H 1st Floor Labor	2976.27	2976.27
1	Building J 1st Floor Materials	40562.40	40562.40
1	Building J 1st Floor Labor	15731.17	15731.17
1	Retainage - Labor (10%)	-1870.74	-1870.74
1	Retainage - Material (10%)	-4056.24	-4056.24
	Invoice subtotal		53342.86
	Sales tax		4400.78
WE APPRECIATE YOUR BUSINESS!		TOTAL	57743.64

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
ORIGINAL INVOICEPage 43
COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7041

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721
Known as: Austin Viie – Bldgs. H & J 1st Floor (193245)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is thirteen thousand, seven hundred eleven and 01/100 Dollars (\$ 13,711.01).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

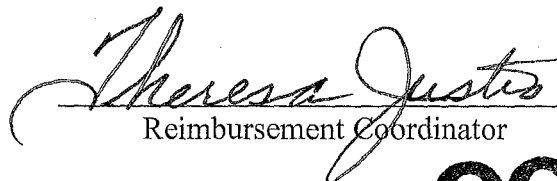
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 20% materials Building J 1st Floor and 20% labor Building J 1st Floor less 10% retainage in progress of the fire sprinkler system modification.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7068

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED
7018 0680 0001 4391 7065

COPY

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE 11/05/19 INVOICE # 273038

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
Building J 1st Floor	Due on Receipt	193245

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Bldg H 1st Floor / Bldg J 1st Floor 3443 Ed Bluestein Blvd. Austin, Texas 78721 Fire Sprinkler System Modification		
1	Building J 1st Floor Materials	10140.60	10140.60
1	Building J 1st Floor Labor	3932.80	3932.80
1	Retainage - Material (10%)	-1014.06	-1014.06
1	Retainage - Labor (10%)	-393.28	-393.28
	Invoice subtotal		12666.06
	Sales tax		1044.95
WE APPRECIATE YOUR BUSINESS!		TOTAL	13711.01

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.
 ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7072

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Blvd. Building F Austin, Texas 78721
Known as: Austin Viie – Building F 2nd Floor (193246)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is four thousand, eight hundred forty-one and 92/100 Dollars (\$ 4,841.92).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

Enclosed you will find a copy of the invoice(s).

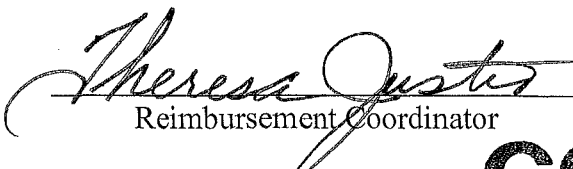
The materials and labor consist of 50% labor Building F 2nd Floor less 10% retainage in progress of the fire alarm system installation.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,

Enclosures


Reimbursement Coordinator

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7089

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7096

COPY

KOETTER FIRE PROTECTION

OF AUSTIN, L.L.C.

Page 49
Invoice**ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION**16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
(512) 251-7888 FAX (512) 251-7848ENGINEERED SYSTEMS • FIRE SUPPRESSION SYSTEMS
FIRE ALARM SYSTEMS • FIRE EXTINGUISHERS
FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
LUBBOCK ★ CORPUS CHRISTI

DATE 11/05/19 INVOICE # 273044

BILL TO:

Panache Development & Construction, Inc.
P.O. Box 26539
Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
16069 CENTRAL COMMERCE DRIVE
PFLUGERVILLE, TEXAS 78660-2005*Thank You! We Appreciate Your Business*

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW F2 TI	Due on Receipt	193246

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Building F 2nd Floor Installation 3443 Ed Bluestein Blvd. Austin, Texas 78721 WWW F2 TI Adam Zarafshani / Troy Fellows Fire Alarm System Installation		
1	Building F 2nd Floor Labor	5379.91	5379.91
1	Retainage - Labor (10%)	-537.99	-537.99
		Invoice subtotal	4841.92
		Sales tax	0.00
WE APPRECIATE YOUR BUSINESS!		TOTAL	4841.92

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7102

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Bldgs F(3-4) H(2-4) J(2-4) Austin, TX 78721
Known as: Austin Viie – Bldgs F(3-4), H(2-4), J(2-4) (193247)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is two thousand, seven hundred twenty-six and 81/100 Dollars (\$ 2,726.81).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

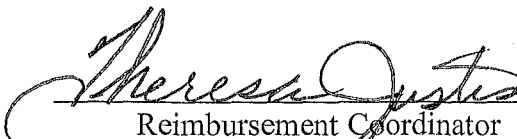
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 35% labor Building F Floors 3-4 less 10% retainage in progress of the fire alarm system installation.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

COPY

cc: Panache Development & Construction, Inc.
P O Box 26539
Austin, Texas 78755

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7119

cc: 3443 Zen Garden Limited Partnership
3443 Ed Bluestein Blvd.
Austin, Texas 78721-2902

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7126

COPY
Page 51

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

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AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE 11/05/19 INVOICE # 273046

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW PH2	Due on Receipt	193247

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Bldgs F 3-4 WWW Phase 2 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Alarm System Installation		
1	Building F Floors 3-4 Labor	3029.79	3029.79
1	Retainage - Labor (10%)	-302.98	-302.98
	Invoice subtotal		2726.81
	Sales tax		0.00
WE APPRECIATE YOUR BUSINESS!		TOTAL	2726.81

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY
 Page 52

DATE: December 11, 2019

Austin Viie, LLC
P O Box 26538
Austin, Texas 78755-0538

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

7018 0680 0001 4391 7034

Re: Koetter Fire Protection of Austin, LLC. (Subcontractor)
Panache Development & Construction, Inc. (Original Contractor)
Austin Viie, LLC. (Lessee)
Project location: 3443 Ed Bluestein Bldgs F, H and J 1st Floor Austin, TX 78721
Known as: Austin Viie – Bldgs F, H, and J 1st Floor Renovation (193248)

Gentlemen:

Koetter Fire Protection of Austin, LLC, has furnished materials and labor to the above-named original contractor pertaining to the construction project described above. We understand that 3443 Zen Garden Limited Partnership is the owner of the land and perhaps some of the improvements and that Austin Viie, LLC is the owner of a leasehold estate and some or all of the improvements at the described location. We further understand that the above-designated original contractor is the original contractor. Please advise immediately if any of these assumptions is incorrect.

The principal amount of the account with the original contractor is one thousand, four hundred twenty-three and 84/100 Dollars (\$ 1,423.84).

If this claim remains unpaid, you may be personally liable and your property (the tenant's leasehold estate only) may be subjected to a lien unless you withhold payment from the above-mentioned original contractor for the payment of the claim or unless the claim is otherwise paid or settled.

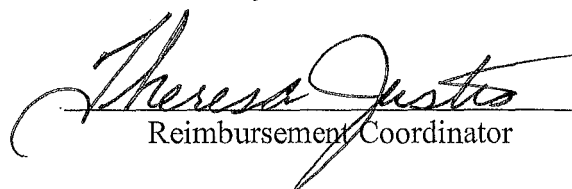
Enclosed you will find a copy of the invoice(s).

The materials and labor consist of 25% labor Building F 1st Floor less 10% retainage in progress of the fire alarm system.

Demand for payment is hereby made pursuant to Section 53.083 of the Property Code of the State of Texas. Our claim, or a part thereof, against Panache Development & Construction, Inc. is past due according to terms.

The purpose of this letter is to comply with the mechanics' and materialmen's lien statutes.

Sincerely,


Reimbursement Coordinator

Enclosures

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KOETTER FIRE PROTECTION

Page 54
 Invoice

ALL YOU NEED TO KNOW ABOUT FIRE PROTECTION

16069 CENTRAL COMMERCE DRIVE PFLUGERVILLE, TEXAS 78660-2005
 (512) 251-7888 FAX (512) 251-7848

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 FIRE SPRINKLER SYSTEMS • SECURITY

AFFILIATES IN

DALLAS ★ HOUSTON ★ LONGVIEW ★ SAN ANTONIO
 LUBBOCK ★ CORPUS CHRISTI

DATE 11/05/19 INVOICE # 273048

BILL TO:

Panache Development & Construction, Inc.
 P.O. Box 26539
 Austin, TX 78755

REMIT TO:

KOETTER FIRE PROTECTION OF AUSTIN, L.L.C.
 16069 CENTRAL COMMERCE DRIVE
 PFLUGERVILLE, TEXAS 78660-2005

Thank You! We Appreciate Your Business

P.O. NUMBER	TERMS	OUR ORDER NO.
WWW PH1	Due on Receipt	193248

QUANTITY	DESCRIPTION	RATE	AMOUNT
	PROJECT: Bldgs F,H & J 1st Floor Renovation 3443 Ed Bluestein Blvd. Austin, Texas 78721 Adam Zarafshani / Troy Fellows Fire Alarm System		
1	Building F 1st Floor Labor	1461.47	1461.47
1	Retainage - Labor (10%)	-146.15	-146.15
		Invoice subtotal	1315.32
		Sales tax	108.52
WE APPRECIATE YOUR BUSINESS!		TOTAL	1423.84

THIS INVOICE PAYABLE IN UNITED STATES CURRENCY.

ORIGINAL INVOICE

COPY

7018 0680 0001 4391 7171

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only 193278, 193244, 193245

For delivery information, visit our website at www.usps.com

AUSTIN TX 78721

OFFICIAL USE

Certified Mail Fee	\$3.50	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$1.50	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.85	
Total Postage and Fees	\$5.95	

0664 21

Postmark Here

12/13/2019

Sent To
3443 Zen Garden Limited Partnership
Street and Apt. No., or PO Box No.
5443 Ed Bluestein Blvd.
City, State, ZIP+4®
Austin, TX 78721-2902

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0680 0001 4391 7157

U.S. Postal Service™
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Domestic Mail Only 193278, 193244, 193245

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AUSTIN TX 78755

OFFICIAL USE

Certified Mail Fee	\$3.50	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$1.50	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.85	
Total Postage and Fees	\$5.95	

0664 21

Postmark Here

12/13/2019

Sent To
Austin Vile, LLC.
Street and Apt. No., or PO Box No.
PO Box 26538
City, State, ZIP+4®
Austin, TX 78755-0538

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 0680 0001 4391 7164

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only 193278, 193244, 193245

For delivery information, visit our website at www.usps.com

AUSTIN TX 78755

OFFICIAL USE

Certified Mail Fee	\$3.50	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	
<input type="checkbox"/> Return Receipt (hardcopy)	\$1.50	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.85	
Total Postage and Fees	\$5.95	

0664 21

Postmark Here

12/13/2019

Sent To
Pamache Development & Construction, Inc.
Street and Apt. No., or PO Box No.
PO Box 26539
City, State, ZIP+4®
Austin, TX 78755

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

FERGUSON Ex. "B"

STATE OF TEXAS

COUNTY TRAVIS

§
§
§



4 pgs

2019195395

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is P O Box 26538 Austin, Texas 78755-0538.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is seventy-five thousand, two hundred ninety-six and 90/100 Dollars (\$ 75,296.90), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

100% design labor, 100% materials furnished and 70% labor less 10% retainage in progress of the fire sprinkler system remodel.

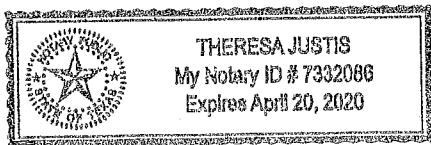
7. The labor and materials, for which payment is requested, were furnished during the month(s) of : June 2019 and July 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: October 15, 2019.

Claimant understands that the above –described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 11th day of December, 2019, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

**EXHIBIT A
LEGAL DESCRIPTION**

TRACT 1: Lot 1A-B, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 2: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Easement Agreement for Emergency Reciprocal Access, dated November 15, 2006, by and between Freescale Semiconductor, Inc. and Hewlett-Packard Company, recorded in Document No. 2006222165, Official Public Records, Travis County, Texas; over and across those portions of Lot 1A, and 2A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 2006000304, Official Public Records, Travis County, Texas, now known as Lot 1A-A, and Lot 1A-B, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 3: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Reciprocal Access Agreement for Landscape and Building Maintenance, dated November 15, 2006, by and between Freescale Semiconductor, Inc. and Hewlett-Packard Company, recorded in Document No. 2006222167, Official Public Records, Travis County, Texas; over and across those portions of Lot 1A, and 2A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 2006000304, Official Public Records, Travis County, Texas, now known as Lot 1A-A, and Lot 1A-B, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 4: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Ingress and Egress, dated August 10, 2012, by and between MFPB Ed Bluestein LLC and Freescale Semiconductor, Inc., recorded in Document No. 2012132396, Official Public Records, Travis County, Texas; over and across those portions of Lot 1A-A, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

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FILED AND RECORDED
OFFICIAL PUBLIC RECORDS

Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

2019195395

Dec 12, 2019 01:07 PM

Fee: \$38.00

MEDINAE

Subcontractor's Initials _____

Page 2 of 2

General Contractor's Initials _____

STATE OF TEXAS

COUNTY TRAVIS

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4 pgs

2019195396

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is P O Box 26538 Austin, Texas 78755-0538.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is thirty-nine thousand, five hundred forty-seven and 67/100 Dollars (\$ 39,547.67), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

90% labor Building H Floor 2, 90% labor Building H Floor 3 and 90% labor Building H Floor 4 less 10% retainage in progress of the fire sprinkler systeml .

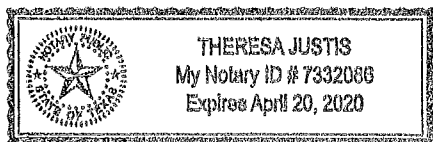
7. The labor and materials, for which payment is requested, were furnished during the month(s) of : July 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: October 15, 2019.

Claimant understands that the above -described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 11th day of December, 2019, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

**EXHIBIT A
LEGAL DESCRIPTION**

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Recorders Memorandum-At the time of recordation this instrument was found to be inadequate for the best reproduction, because of illegibility, carbon or photocopy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.



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Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

Dec 12, 2019 01:07 PM

Fee: \$38.00

MEDINAE

Subcontractor's Initials _____

Page 2 of 2

General Contractor's Initials _____

STATE OF TEXAS

COUNTY TRAVIS

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4 pgs

2019195397

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is P O Box 26538 Austin, Texas 78755-0538.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Bldgs. H & J Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is eleven thousand, five hundred ninety-eight and 50/100 Dollars (\$ 11,598.50), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

80% labor Building H 1st Floor less 10% retainage in progress of the fire sprinkler system modification.

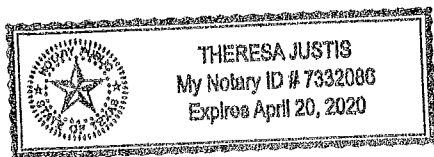
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: July 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: October 15, 2019.

Claimant understands that the above –described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 11th day of December, 2019, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

**EXHIBIT A
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Dana DeBeauvoir, County Clerk
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Dec 12, 2019 01:07 PM

Fee: \$38.00

MEDINAE

Subcontractor's Initials _____

Page 2 of 2

General Contractor's Initials _____

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2020006840

STATE OF TEXAS

§

COUNTY TRAVIS

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MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

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5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is seven thousand, one hundred eighty-six and 18/100 Dollars (\$ 7,186.18), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

10% retainage in completion of the fire sprinkler system 1st floor modification .

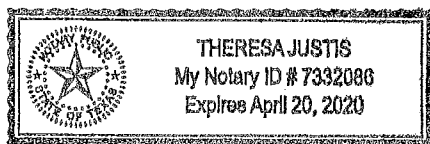
7. The labor and materials, for which payment is requested, were furnished during the month(s) of : September 2018, October 2018, November 2018, December 2018, January 2019, February 2019, March 2019, April 2019, May 2019, June 2019, July 2019, and August 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above –described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

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16069 Central Commerce Drive
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RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 8: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Reciprocal Easement Agreement for Access to Trails and for Lot Line Maintenance, dated August 10, 2012, by and between Freescale Semiconductor, Inc., and MFPB Ed Bluestein LLC, recorded in Document No. 2012132399, Official Public Records, Travis County, Texas; all rights therein to the pedestrian access over and across the trails currently existing as shown in EXHIBIT "A" of Agreement; all rights therein for landscaping and maintenance. Said trails located on Lot 1A-A, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

Recorders Memorandum-At the time of recordation this instrument was found to be inadequate for the best reproduction, because of illegibility, carbon or photocopy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS



Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

2020006840

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

Page 2 of 2

Subcontractor's Initials _____

General Contractor's Initials _____

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4 pgs

2020006841

STATE OF TEXAS

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COUNTY TRAVIS

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is seven thousand, one hundred four and 54/100 Dollars (\$ 7,104.54), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

10% retainage in completion of the fire sprinkler system 2nd floor installation .

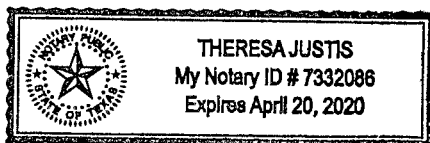
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: August 2018, September 2018, October 2018, November 2018, December 2018, January 2019, February 2019, March 2019, April 2019, May 2019, June 2019, July 2019, August 2019 and September 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above -described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

EXHIBIT A LEGAL DESCRIPTION

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RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

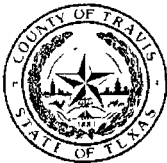
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**FILED AND RECORDED
OFFICIAL PUBLIC RECORDS**

Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas



2020006841

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

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4 pgs

2020006842

STATE OF TEXAS

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COUNTY TRAVIS

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Vne, LLC and Austin Vne, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Vne, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is six thousand, five hundred eighteen and 99/100 Dollars (\$ 6,518.99), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

30% labor less 10% retainage in progress of the fire sprinkler system remodel.

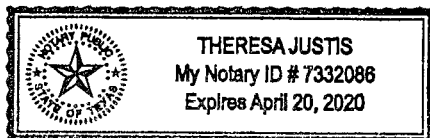
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: August 2019 and October 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above –described land and some of the improvements are leased to Austin Vue, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

EXHIBIT A LEGAL DESCRIPTION

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FILED AND RECORDED
OFFICIAL PUBLIC RECORDS

Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas



2020006842

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

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2020006843

STATE OF TEXAS

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COUNTY ~~TRAVIS~~

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sheri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin V11e, LLC and Austin V11e, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin V11e, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is four thousand, three hundred ninety-four and 20/100 Dollars (\$ 4,394.20), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

10% labor bldg. H floor 2, 10% labor bldg. H floor 3 and 10% labor bldg. H floor 4 less 10% retainage in progress of the fire sprinkler system.

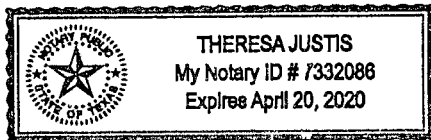
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: August 2019 and September 2019.

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By: Sherrri Douglas
Sherrri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherrri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

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RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

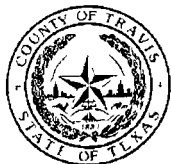
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**FILED AND RECORDED
OFFICIAL PUBLIC RECORDS**

Dana DeBeauvoir

**Dana DeBeauvoir, County Clerk
Travis County, Texas**



2020006843

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

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4 pgs

2020006844

STATE OF TEXAS

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COUNTY TRAVIS

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is one hundred four thousand, three hundred thirty-two and 40/100 Dollars (\$ 104,332.40), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

100% materials bldg. J floor 2, 100% labor bldg. J floor 2, 100% materials bldg. J floor 3 and 75% labor bldg. J floor 3 less 10% retainage in progress of the fire sprinkler system.

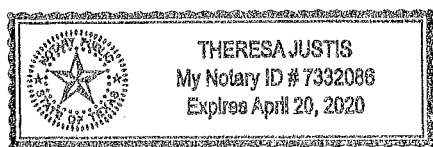
7. The labor and materials, for which payment is requested, were furnished during the month(s) of : October 2019 and November 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above -described land and some of the improvements are leased to Austin Viie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

**EXHIBIT A
LEGAL DESCRIPTION**

TRACT 1: Lot 1A-B, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

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FILED AND RECORDED
OFFICIAL PUBLIC RECORDS



Dana DeBeauvoir

Dana DeBeauvoir, County Clerk
Travis County, Texas

2020006844

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

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4 pgs

2020006845

STATE OF TEXAS

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COUNTY TRAVIS

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct.

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is five thousand, two hundred sixty-one and 49/100 Dollars (\$ 5,261.49), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

50% labor bldg. F floor 1 less 10% retainage in progress of the fire alarm system.

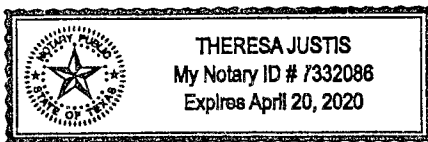
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: August 2019, September 2019, October 2019 and November 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above -described land and some of the improvements are leased to Austin Vie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

EXHIBIT A LEGAL DESCRIPTION

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Dana DeBeauvoir

**Dana DeBeauvoir, County Clerk
Travis County, Texas**



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Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD

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4 pgs

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STATE OF TEXAS

COUNTY TRAVIS

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MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherril Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

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5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is seventy-one thousand, four hundred fifty-four and 65/100 Dollars (\$ 71,454.65), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

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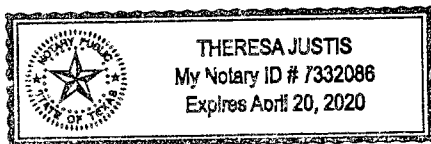
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By: Sherrri Douglas
Sherrri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherrri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

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RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 8. Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Reciprocal Easement Agreement for Access to Trails and for Lot Line Maintenance, dated August 10, 2012, by and between Freescale Semiconductor, Inc., and MFPB Ed Bluestein LLC, recorded in Document No. 2012132399, Official Public Records, Travis County, Texas; all rights therein to the pedestrian access over and across the trails currently existing as shown in EXHIBIT "A" of Agreement; all rights therein for landscaping and maintenance. Said trails located on Lot 1A-A, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

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**FILED AND RECORDED
OFFICIAL PUBLIC RECORDS**



Dana DeBeauvoir

**Dana DeBeauvoir, County Clerk
Travis County, Texas**

2020006846

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD



4 pgs

2020006847

STATE OF TEXAS

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COUNTY ~~TRAVIS~~

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described.

1. 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4. The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached). Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is four thousand, eight hundred forty-one and 92/100 Dollars (\$ 4,841.92), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

50% labor bldg. F floor 2 less 10% retainage in progress of the fire alarm system installation.

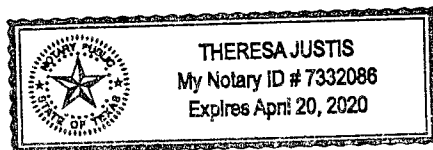
7. The labor and materials, for which payment is requested, were furnished during the month(s) of: July 2019, August 2019, September 2019, October 2019 and November 2019.

8. Notice(s) of claim were sent to the owner of the land, the lessee and original contractor by certified mail on: December 11, 2019.

Claimant understands that the above-described land and some of the improvements are leased to Austin Vie, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

EXHIBIT A LEGAL DESCRIPTION

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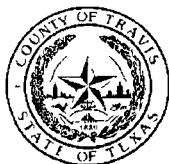
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**Dana DeBeauvoir, County Clerk
Travis County, Texas**



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Fee: \$38.00 BARTHOLOMEWD

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STATE OF TEXAS

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COUNTY TRAVIS

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherri Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

Claimant has furnished labor and materials to improve the property herein described

1 3443 Zen Garden Limited Partnership is the owner or reputed owner of the land herein described and possibly some of the improvements located thereon. 3443 Zen Garden Limited Partnership has entered into a lease agreement with Austin Viie, LLC and Austin Viie, LLC is the owner or reputed owner of a leasehold estate and some or all of the improvements located thereon. The last known address of 3443 Zen Garden Limited Partnership is 3443 Ed Bluestein Blvd. Austin, Texas 78721. The last known address of Austin Viie, LLC is 3443 Ed Bluestein Blvd. Austin, Texas 78721.

2. Panache Development & Construction, Inc. is the original contractor on the project or that portion thereof for which the hereinafter described labor and materials were furnished. The last known address of Panache Development & Construction, Inc. is P O Box 26539 Austin, Texas 78755.

3. Said labor and materials were furnished to Panache Development & Construction, Inc. by Claimant pursuant to an agreement between Claimant and Claimant's Customer.

4 The labor and materials were furnished for the improvement of real property located in Travis County, Texas, which real property is described as follows: EXHIBIT A (attached) Also known as 3443 Ed Bluestein Blvd. Building V Austin, Texas 78721.

5. The Claimant's physical/ mailing address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is two thousand, seven hundred twenty-six and 81/100 Dollars (\$ 2,726.81), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

35% labor bldg. F floors 3 & 4 less 10% retainage in progress of the fire alarm system installation.

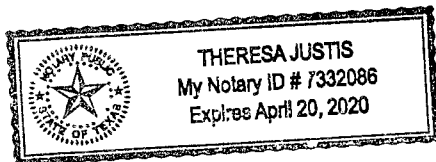
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Claimant understands that the above-described land and some of the improvements are leased to Austin Vire, LLC by 3443 Zen Garden Limited Partnership. Claimant is filing this lien against the tenant's leasehold interest only in the land and improvements.

By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



Theresa Justis
Notary Public, State of Texas

RETURN TO:

Koetter Fire Protection of Austin, LLC
16069 Central Commerce Drive
Pflugerville, Texas 78660-2005

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Dana DeBeauvoir

**Dana DeBeauvoir, County Clerk
Travis County, Texas**



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Fee: \$38.00 BARTHOLOMEWD

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STATE OF TEXAS

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COUNTY ~~TRAVIS~~

MECHANIC'S AND MATERIALMAN'S LIEN AFFIDAVIT

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Sherril Douglas, who being by me here and now duly sworn, upon oath says: That the affiant is the Authorized Agent of Koetter Fire Protection of Austin, LLC, herein called "Claimant", and is duly qualified and authorized to make this affidavit, fully cognizant of the facts herein set out and such facts are true and correct:

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5. The Claimant's physical/mailling address is 16069 Central Commerce Drive Pflugerville, Texas 78660-2005.

6. The principal amount of the claim is one thousand, four hundred twenty-three and 84/100 Dollars (\$ 1,423.84), and said amount is just and correct and all just and lawful offsets, payments and credits known to the affiant have been allowed. The labor and materials are described as follows:

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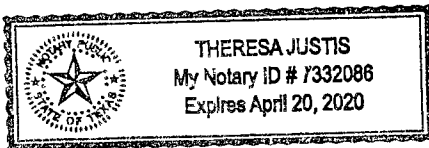
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By: Sherri Douglas
Sherri Douglas, Authorized Agent

SUBSCRIBED and SWORN to BEFORE ME, by the said Sherri Douglas, this the 15th day of January, 2020, to certify which witness my hand and seal of office.



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Notary Public, State of Texas

RETURN TO:

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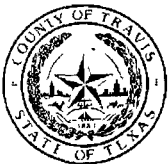
TRACT 7: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Reciprocal Easement Agreement for Access through Doorway to Buildings K and L, dated August 10, 2012, by and between Freescale Semiconductor, Inc., and MFPB Ed Bluestein LLC, recorded in Document No. 2012132400, Official Public Records, Travis County, Texas; all rights therein to the access use of the doorway shown in EXHIBIT "B" of Agreement. Said doorway located on Lot 1A-A,

RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

TRACT 8: Non-Exclusive Easement Estate appurtenant to Tract 1 created pursuant to that certain Reciprocal Easement Agreement for Access to Trails and for Lot Line Maintenance, dated August 10, 2012, by and between Freescale Semiconductor, Inc., and MFPB Ed Bluestein LLC, recorded in Document No. 2012132399, Official Public Records, Travis County, Texas; all rights therein to the pedestrian access over and across the trails currently existing as shown in EXHIBIT "A" of Agreement; all rights therein for landscaping and maintenance. Said trails located on Lot 1A-A, RESUBDIVISION PLAT OF LOT 1A, RESUBDIVISION PLAT OF LOT 1, MOTOROLA INC. ED BLUESTEIN FACILITY, according to the map or plat thereof, recorded in Document No. 200900045, Official Public Records, Travis County, Texas.

Recorders Memorandum-At the time of recordation this instrument was found to be inadequate for the best reproduction, because of illegibility, carbon or photocopy, discolored paper etc All blockouts additions and changes were present at the time the instrument was filed and recorded

**FILED AND RECORDED
OFFICIAL PUBLIC RECORDS**



Dana DeBeauvoir

**Dana DeBeauvoir, County Clerk
Travis County, Texas**

2020006849

Jan 15, 2020 11:50 AM

Fee: \$38.00 BARTHOLOMEWD